

3 KEY PLAN  
SCALE: 1" = 160'-0"

# PAINTING THE EXTERIOR OF THE EXISTING GYM BUILDING

## ST. JOHNS RIVER STATE COLLEGE

5001 ST JOHNS AVE. PALATKA, FLORIDA 32177



- SCOPE OF WORK**  
EXISTING BUILDING -
- PAINT EXTERIOR OF EXISTING GYM BUILDING AND LOCKER ROOMS. BUILDING COLORS SHALL MATCH EXISTING LIBRARY (3 COLORS)
  - REMOVE AND REPLACE ALL SEALANT AT EXTEIOR DOORS, WINDOWS, AND LOUVERS
  - PROTECT ALL EXISTING EQUIPMENT

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A101	EXTERIOR ELEVATIONS AND NOTES
A200	3D EXTERIOR ELEVATIONS
A201	3D EXTERIOR ELEVATIONS

### DISTRICT OF BOARD TRUSTEES

RICH KOMANDO, J.D.  
NICK PRIMROSE, J.D.  
W.J. (JUD) SAPP, JR.  
CHERESE STEWART  
WENDELL D. DAVIS  
CYRUS ZOMORODIAN, J.D.  
JEREMIAH BLOCKER, J.D.  
JOE H. PICKENS, J.D.

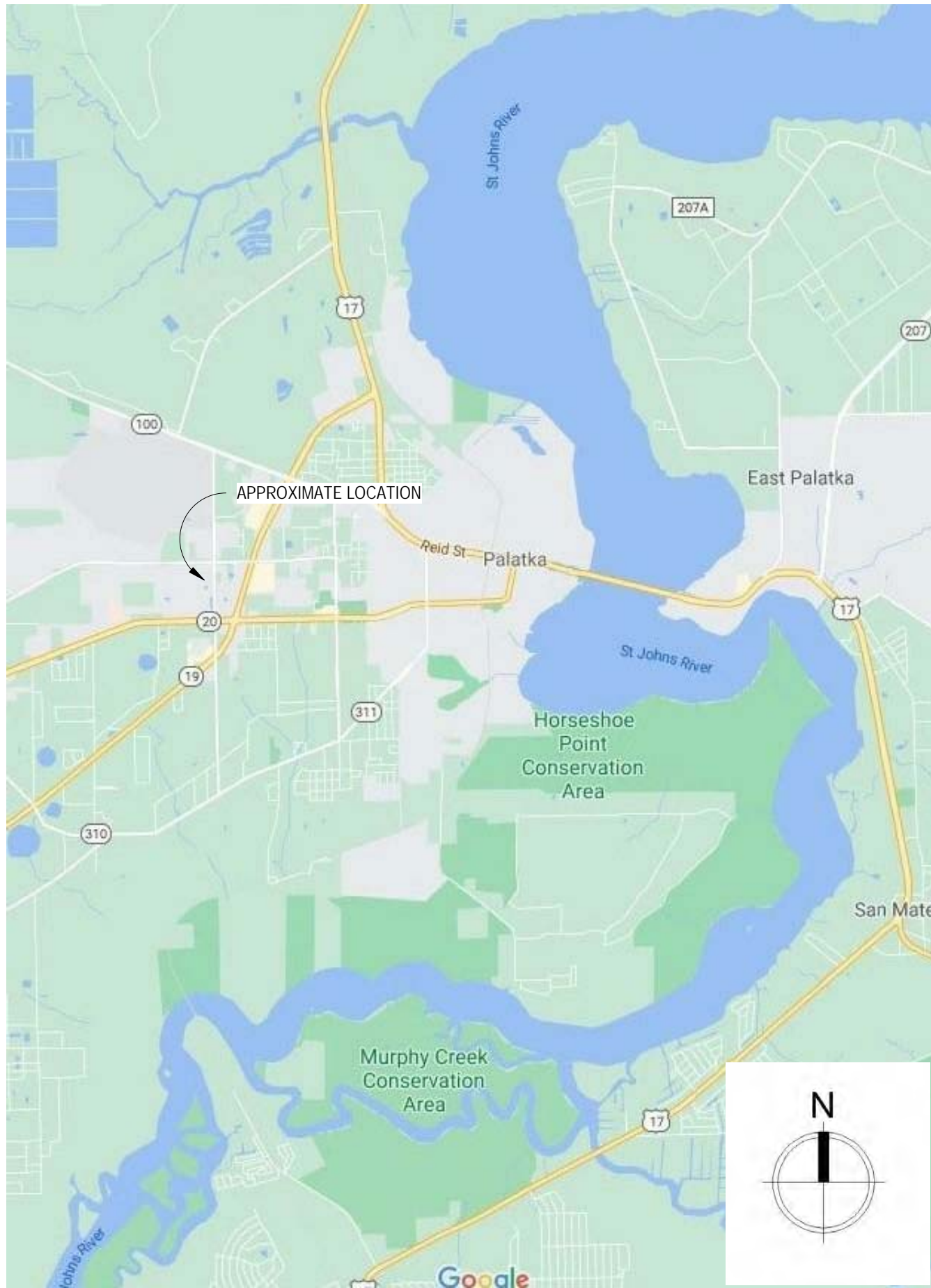
CHAIR  
VICE CHAIR

BOARD ATTORNEY  
EXECUTIVE SECRETARY

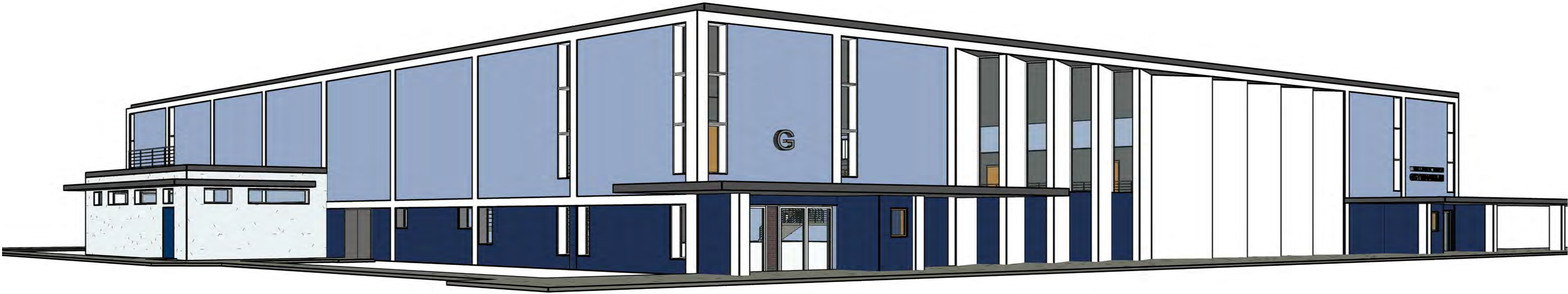
### ADMINISTRATION

JOE H. PICKENS, J.D.

PRESIDENT



1 SJRSC EXISTING GYM BUILDING  
SCALE: N.T.S.



STATEMENT OF COMPLIANCE:

To the best of my knowledge, these construction documents are in compliance with criteria set forth in the current edition of the Florida Building Code and Florida Statutes.

Revisions		
No.	Desc.	Date



CRG ARCHITECTS  
/ PALATKA, INC.  
216A ST. JOHN'S AVE.  
PALATKA, FL 32177  
A A 0 0 0 2 6 0 4  
p. 386 - 325 - 0213  
f. 386 - 328 - 1401

BID SET

COVER SHEET

PAINTING THE EXTERIOR OF  
THE EXISTING GYM BUILDING  
ST JOHNS RIVER STAE COLLEGE  
5001 ST. JOHNS AVE, PALATKA, FL 32177

Seal / Signature	
Project number	015ZA04
Date	11-19-25
Drawn by	TB
Checked by	JK
A001	
OF	SHEETS
Scale	As indicated



PARTITION

PARTITION WALL WITH SOUND BATTS

BATT INSULATION

RIGID INSULATION

FINISHED WOOD

DIMENSIONAL LUMBER

WOOD BLOCKING

EARTH

C.M.U. WALL

CAST-IN-PLACE CONCRETE

REINFORCED VERTICAL CMU CELL

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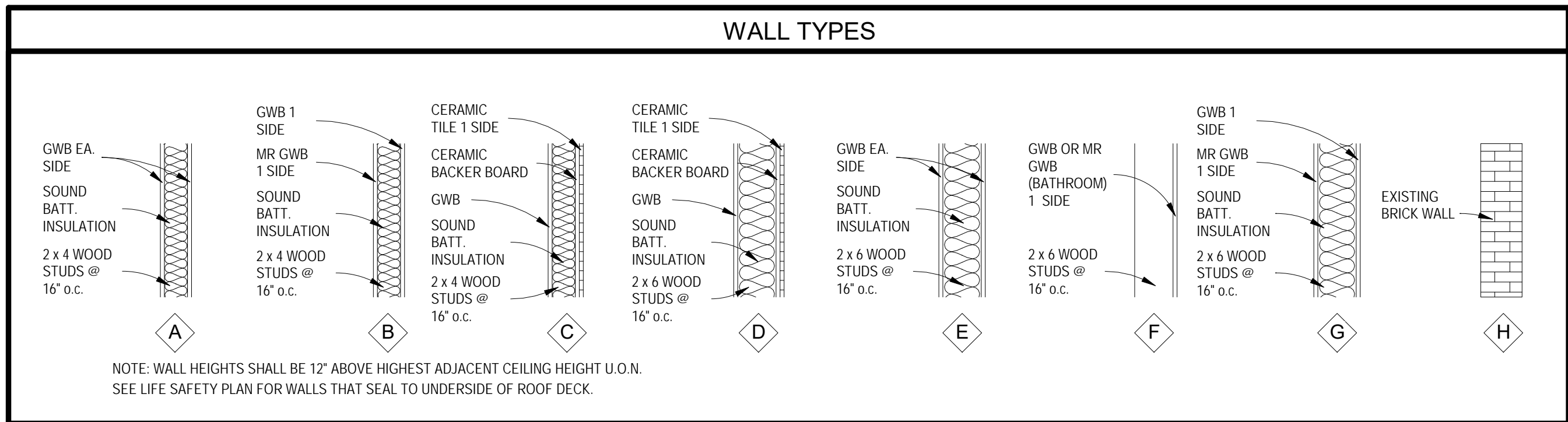
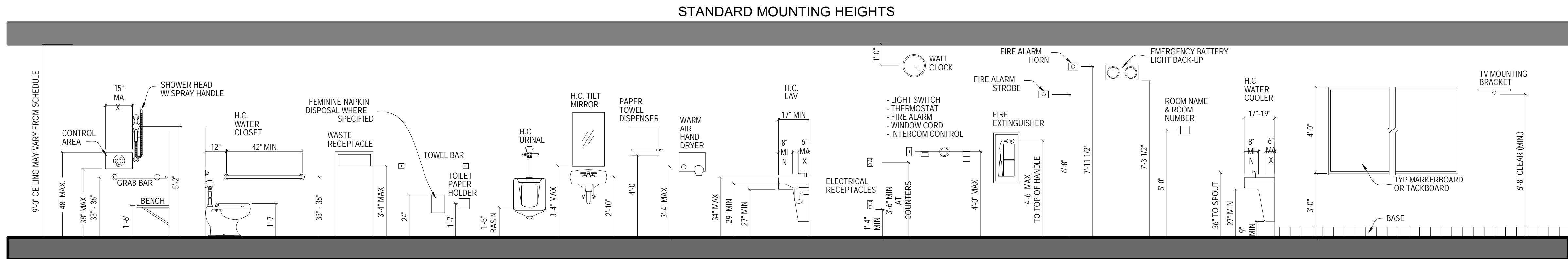
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CRG ARCHITECTS  
/ PALATKA, INC.  
216A ST. JOHN'S AVE.  
PALATKA, FL 32177  
A A 0 0 2 6 0 4  
p. 386 - 325 - 0213  
f. 386 - 328 - 1401

BID SET

## ABBREVIATIONS & LEGENDS

PAINTING THE EXTERIOR OF  
THE EXISTING GYM BUILDING  
ST JOHNS RIVER STAE COLLEGE  
5001 ST. JOHNS AVE, PALATKA, FL 32177

Seal / Signature

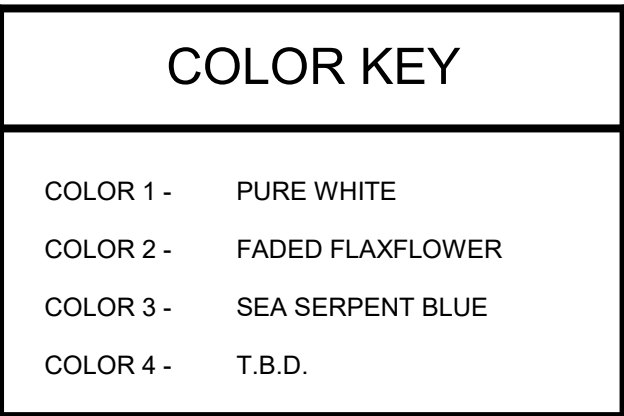
Project number	015ZA04
Date	11-19-25
Drawn by	TB

A002  
OF SHEETS  
Scale 1 : 35

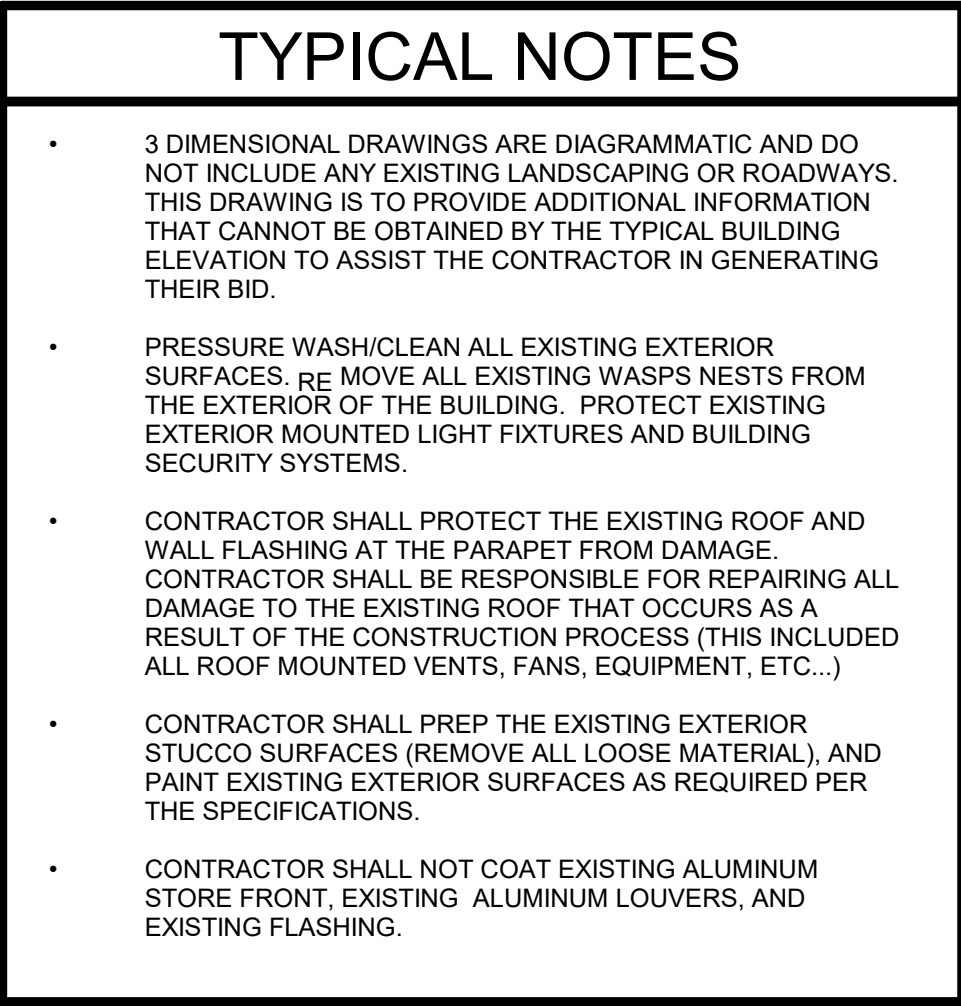




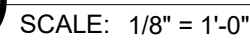




NOTE: EXISTING TREES/SHRUBS ARE NOT SHOWN FOR CLARITY. CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS DURING THE REPAINTING PROCESS. CONTRACTOR SHALL VERIFY THEIR EXISTING LOCATIONS.



SCALE: 1/8" = 1'-0"



1. CONSTRUCT ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, ASTM STANDARDS, AND FLORIDA ACCESSIBILITY CODES FOR BUILDING CONSTRUCTION.
2. CONTRACTOR SHALL VISIT AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO SUBMITTING HIS BID.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW DESIGN INTENT ONLY. THEY DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION OR EVERY EXISTING CONDITION. ALL TRADES ARE RESPONSIBLE FOR FURNISHING COMPLETE BUILDING SYSTEMS AND ALL ITEMS THAT WOULD NORMALLY BE CONSIDERED INCIDENTAL TO THEIR INSTALLATION.
5. CONTRACTOR SHALL REVIEW CONTRACT DOCUMENTS FOR THE PROJECT AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES IN ACCORDANCE WITH THE SPECIFICATION AND MAKE ADJUSTMENTS IN LAYOUT AS REQUIRED, WITH ARCHITECT'S PERMISSION ONLY, TO AVOID CONFLICT BETWEEN TRADES FOR PROPER EXECUTION OF THE WORK.
7. THE CONTRACTOR SHALL PROVIDE PROTECTION EQUIPMENT FOR SURROUNDING MATERIAL AND SITE DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL, AT THEIR EXPENSE, RESTORE TO "LIKE NEW" CONDITIONS ANY DAMAGE TO SURROUNDING MATERIALS DURING CONSTRUCTION.
9. CUTTING OF STEEL, WOOD, OR OTHER STRUCTURAL MEMBERS IS NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OR RECORD, PRIOR TO CUTTING.

10. MAINTAIN PREMISES AND PUBLIC AREAS FREE FROM ACCUMULATION WASTE AND RUBBISH CAUSED BY NORMAL CONSTRUCTION ON A DAILY BASIS. UPON COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS AND EQUIPMENT, AND LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
11. PROVIDE REQUIRED COORDINATION AND SUPERVISION WHERE WORK CONNECTS TO OR IS AFFECTED BY OTHER WORK.
12. WHERE WORK OF ONE TRADE WILL BE INSTALLED IN CLOSE PROXIMITY TO WORK OF OTHER TRADES OR WHERE ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, CONTRACTOR SHALL ASSIST IN WORKING OUT CONDITIONS TO COORDINATE INSTALLATION.
13. WHERE TWO OR MORE DETAILS, OR CONDITIONS OCCUR IN APPARENT CONFLICT, THE CONTRACTOR SHALL USE THE MOST EXPENSIVE SOLUTION IN HIS BID. NOTIFY THE ARCHITECT OF ANY APPARENT DISCREPANCIES PRIOR TO COMMENCING WITH THE WORK.
14. PERMITS: THE GENERAL BUILDING PERMIT FOR THE PROJECT SHALL BE OBTAINED PRIOR TO CONSTRUCTION BY THE CONTRACTOR. HE SHALL SECURE THE PERMITS REQUIRED FROM THE APPROPRIATE STATE AGENCIES HAVING JURISDICTION.
15. CONSTRUCTION COMPLETION PROCEDURES: OBTAIN CERTIFICATES OF OCCUPANCY OR USE, FROM ALL PERMITTING AGENCIES REQUIRED FOR THIS PROJECT, PRIOR TO SUBSTANTIAL COMPLETION.
16. ALL DIMENSIONS TAKEN TO THE FACE OF THE WALL AT CONCRETE WALLS, THE FACE OF CONCRETE COLUMNS OF TO THE FACE OF METAL STUDS AT FRAMED PARTITIONS, U.O.N.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR PRUNING ANY TREE LIMBS, BUSHES, ETC... AWAY FROM THE EXTERIOR WALL OF THE BUILDING, ALLOWING FOR ADEQUATE SPACE TO WORK FOR APPLYING THE EXTERIOR PAINTING
18. THE EXISTING GUTTERS AND DOWN SPOUTS SHALL BE CLEANED, PREPPED, PRIMED, AND PAINTED TO MATCH THE FILED COLOR THEY CARRY

[illegible]

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/ PALATKA, INC.  
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BID SET

## EXTERIOR ELEVATIONS AND NOTES

PAINTING THE EXTERIOR OF  
THE EXISTING GYM BUILDING  
ST JOHNS RIVER STAE COLLEGE  
5001 ST. JOHNS AVE, PALATKA, FL 32177

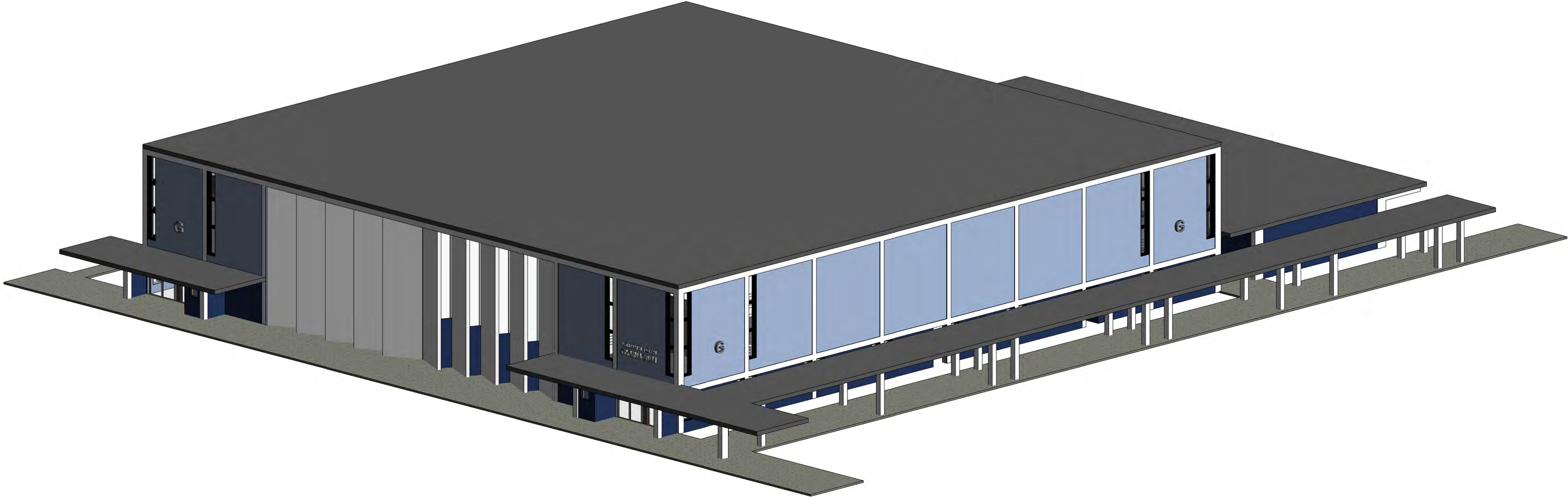
Seal / Signature

Project number	015ZA04
Date	11-19-25
Drawn by	TB
Checked by	JK

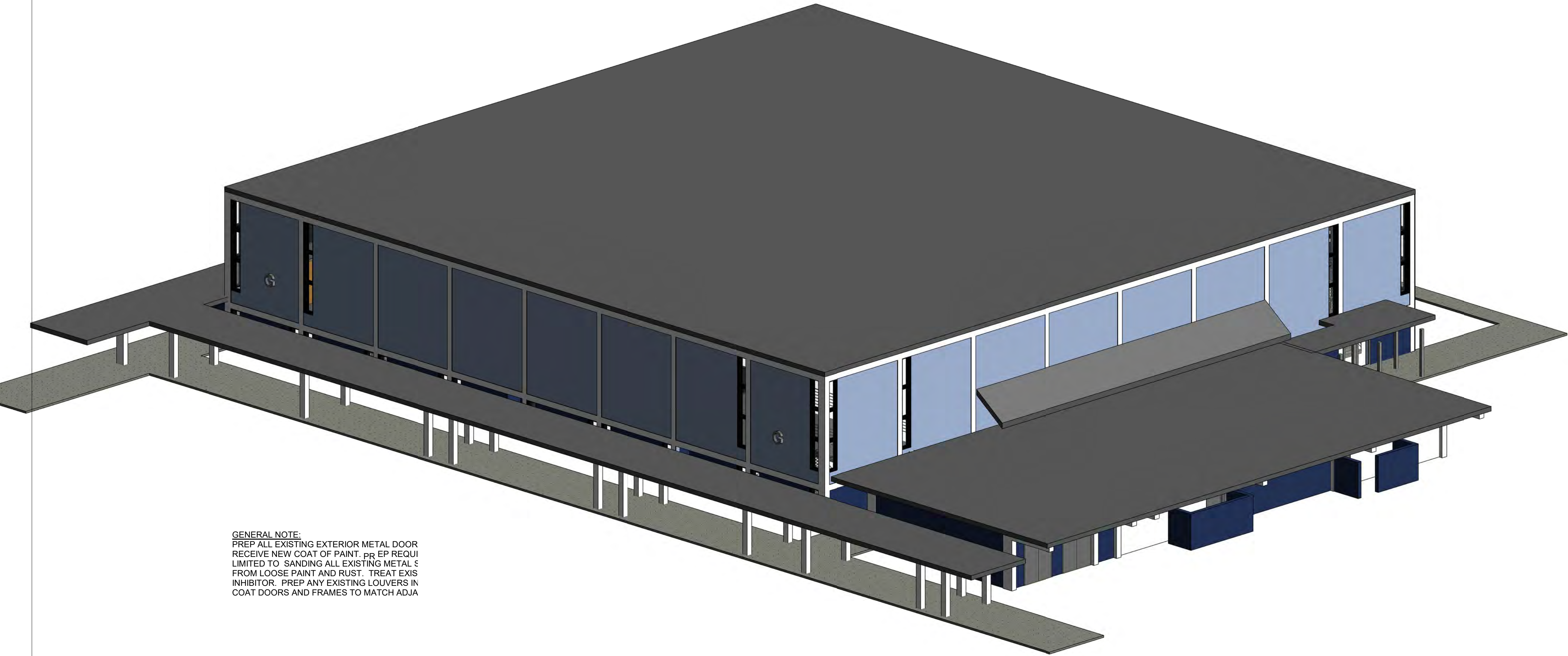
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OF	SHEETS
Scale	As indicated





1 NORTH EAST ISOMETRIC  
SCALE:



GENERAL NOTE:  
PREP ALL EXISTING EXTERIOR METAL DOOR  
RECEIVE NEW COAT OF PAINT. PREP REQUI  
LIMITED TO: SANDING ALL EXISTING METAL &  
FROM LOOSE PAINT AND RUST. TREAT EXIS  
INHIBITOR. PREP ANY EXISTING LOUVERS IN  
COAT DOORS AND FRAMES TO MATCH ADJA

2 NORTH WEST ISOMETRIC  
SCALE:

## CONTRACTOR NOTES

- EXISTING STUCCO FINISH ON PAPER BACK METAL LATHE. CONTRACTOR SHALL REPAIR ALL EXISTING CRACKS IN STUCCO AND FINISH TO MATCH THE ADJACENT AREAS. (SEE SPECIFICATIONS FOR DESCRIPTIONS OF WORK). CONTRACTOR SHALL COMPLETELY REMOVE ALL EXTERIOR COATING THAT IS BUBBLING AND/OR NOT ADHERING TO THE SUBSURFACE. PREP THESE AREAS TO RECEIVE NEW COATING SYSTEM. SEE ELEVATIONS FOR COLOR OF COATING AND LOCATIONS.
- EXISTING WINDOW TO REMAIN, PROTECT. CONTRACTOR SHALL CLEAN EXISTING WINDOWS AND REMOVE ANY DIRT, DEBRIS AND OVER-PAINT FROM THE PAINTING AND COATING PROCESS. CONTRACTOR SHALL REMOVE ALL EXISTING CAULKING AND BACKING ROD. CLEAN ADJACENT SURFACES AND INSTALL NEW BACKER ROD AND CAULKING.
- EXISTING LANDSCAPING TO REMAIN, PROTECT. CONTRACTOR SHALL BRING TO LIKE NEW CONDITION ALL EXISTING GRASSING AND LANDSCAPING THAT WERE DAMAGED AS A RESULT OF THE CONSTRUCTION PROCESS OF THIS PROJECT.
- EXISTING CONCRETE REMAIN, PROTECT. CONTRACTOR SHALL REPLACE ANY CONCRETE DAMAGED AS A RESULT OF THE CONSTRUCTION AT THEIR COST, AND FINISH TO MATCH ADJACENT SURFACES.
- EXISTING METAL HANDRAILS TO REMAIN, PROTECT. REMOVE ANY OVER-PAINT THAT MAY OCCUR FROM THE PAINTING PROCESS.
- EXISTING CANOPY WALKWAY TO REMAIN, PROTECT.
- EXISTING LIGHT FIXTURES TO REMAIN, PROTECT. CONTRACTOR SHALL CAREFULLY CLEAN THE EXISTING FIXTURE AND REMOVE ALL DIRT AND DEBRIS TO BRING TO LIKE NEW CONDITION. CONTRACTOR SHALL REMOVE ALL EXISTING CAULKING, CLEAN ADJACENT SURFACES, AND APPLY NEW CAULKING.
- EXISTING EXTERIOR S.F. DOOR, PROTECT. CONTRACTOR SHALL REMOVE EXISTING CAULKING, CLEAN ADJACENT SURFACES AND INSTALL NEW BACKER ROD AND CAULKING.
- CONTRACTOR SHALL REMOVE EXISTING BUILDING SIGNAGE, STORE IN A SAFE LOCATION, AND REINSTALL AFTER THE COATING SYSTEM IS COMPLETE. CONTRACTOR SHALL CLEAN EXISTING SIGNAGE FREE OF EXISTING DIRT AND DEBRIS PRIOR TO REINSTALLATION.
- EXISTING METAL FLASHING/DRIP TO REMAIN, PROTECT.
- EXISTING BRICK TO BE CLEANED AND PREPPED TO RECEIVE NEW PAINT FINISH (SEE SPECIFICATIONS).
- EXISTING CURTAIN WALL / STOREFRONT SYSTEM TO REMAIN, PROTECT.
- EXISTING H.M. DOOR AND FRAMES TO BE PREPPED AND PAINTED. CONTRACTOR SHALL PROTECT ALL EXISTING DOOR ACCESSORIES. REPAIR ALL RUSTED AREAS. PROTECT EXISTING LOUVERS.
- EXISTING METAL LOUVERS TO REMAIN, PROTECT.

NOTE: IMAGES SHOWN ARE NOT COMPLETELY EXHAUSTIVE FOR SHOWING ALL OCCURRENCES OF ALL EXISTING CONDITIONS. IMAGES SHOW A GENERAL DEPICTION OF THE WORK THAT THE CONTRACTOR WILL BE REQUIRED TO PERFORM. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & OCCURRENCES OF ITEMS DESCRIBED IN THE "CONTRACTOR NOTES"

Revisions		
No.	Desc.	Date

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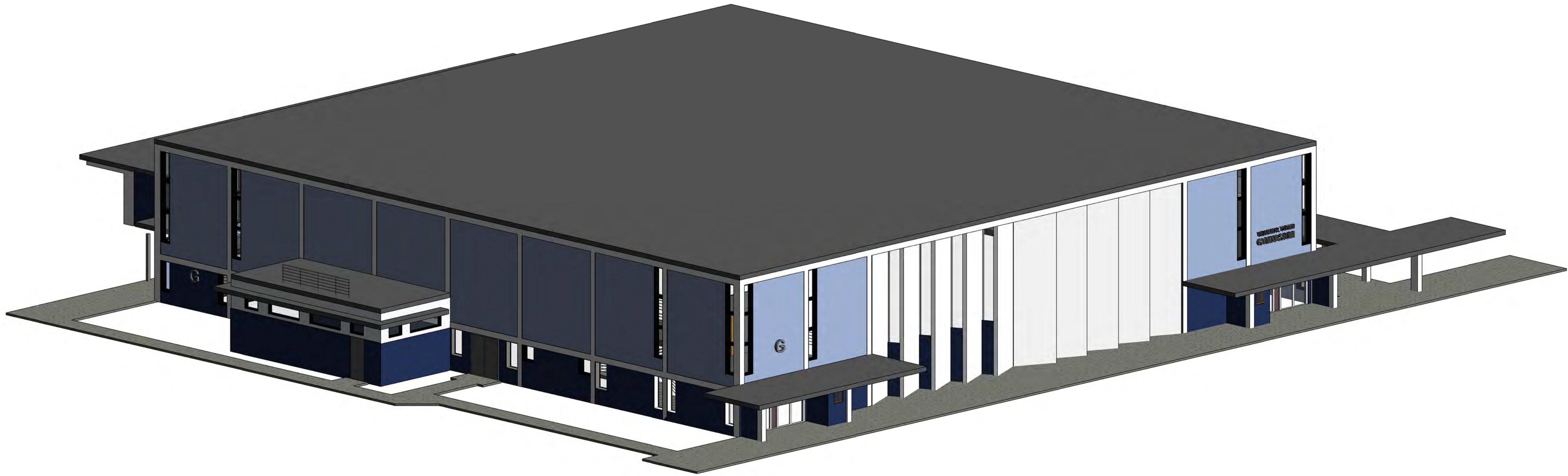
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3D EXTERIOR  
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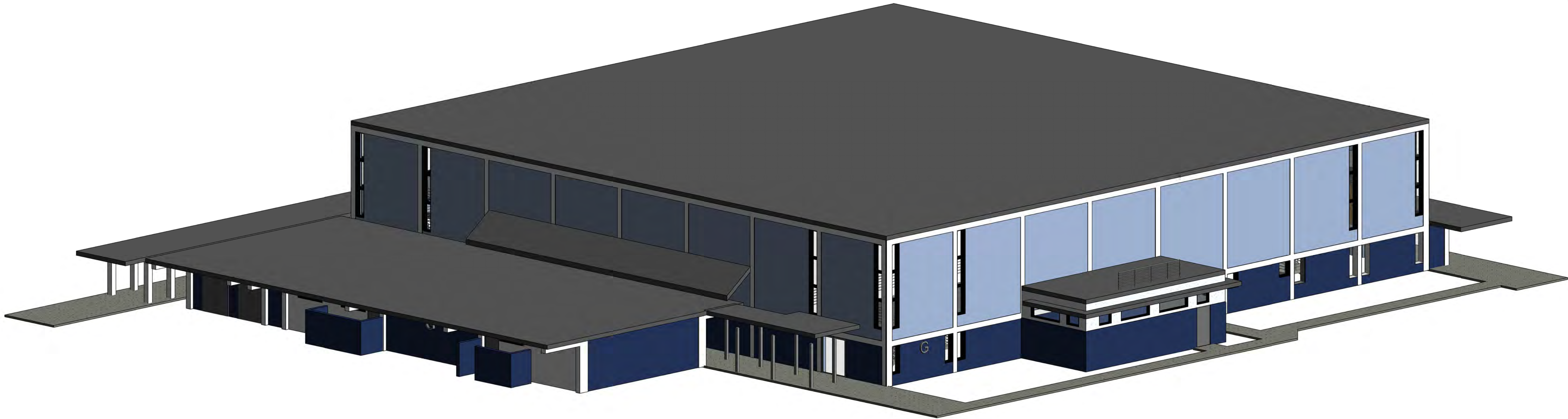
Seal / Signature	
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Drawn by	TB
Checked by	JK
A200	
OF	SHEETS
Scale	12" = 1'-0"





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